

Sales Information

tamakukuterrace.nz

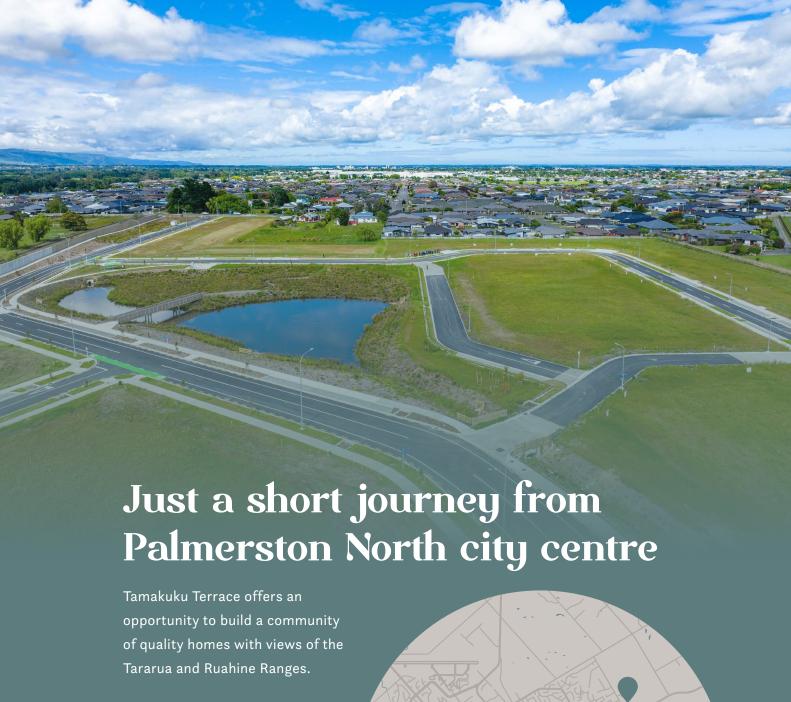
Nau mai, haere mai.

Tamakuku Terrace was named in collaboration with our local Iwi, Rangitāne. Tamakuku is the chief who Whatonga (from whom Rangitāne trace their descent) met when he arrived in the Manawatū.

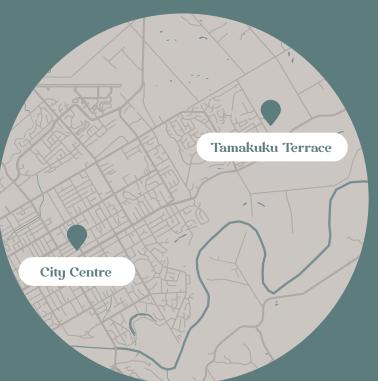
Tamakuku Terrace, is just a short journey to the east of Palmerston North's city centre.

114 sections will be available across
Stage 1 and 2. Stage 1 consists of
79 sections which have been titled.
Stage 2 is under construction now.
The sections vary in size to allow
for a mix of housing stock and
buyer demographics. The layout has
been designed to foster a sense of
community around a central open
space and water catchment feature





It's certain to be popular with those looking for an easy commute, a short drive to local amenities including supermarket and suburban shops and within walking distance of the well regarded Whakarongo and Cornerstone Schools.





Stage 1 Available Sections



27 SECTIONS AVAILABLE

Boundary lines indicative only.

(m²)	Net Area (m²)	Section Price
564	505	\$395,000
603	515	\$420,000
620	503	\$420,000
501	501	\$380,000
480	480	\$360,000
551	551	\$395,000
539	539	\$395,000
500	500	\$375,000
520	520	\$385,000
550	550	\$395,000
704	704	\$450,000
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Lot	Gross Area (m²)	Net Area (m²)	Section Price
29	520	520	\$395,000
30	550	550	\$405,000
56	514	514	\$360,000
57	450	450	\$335,000
58	613	613	\$400,000
59	814	814	\$495,000
60	552	552	\$400,000
64	552	552	\$385,000
90	474	474	\$360,000
91	300	300	\$280,000
107	341	341	\$295,000

All section prices are inclusive of GST.

Please refer to Survey Scheme Plan for accurate dimensions and areas.

Design

Community has been the focus of the subdivision design, and there are sections of various sizes to accommodate housing to suit people at various stages of life.

Design guidelines and associated land covenants have been created to ensure quality and an attractive housing form that is sympathetic to the environment.

The design guidelines are specifically in place to encourage good design outcomes through;

- Site layout
- Architecture
- Landscaping
- Entrances

Every home and its landscape and layout will require approval from the Design Review Board prior to submission of building consent plans to council. The approval process is simple and is required to ensure all housing design is of good quality and represents standard best practice in design and is a cohesive extension of design at Tamakuku Terrace. We do allow exemptions if it achieves a good quality outcome.

Once a section is sold, the design approval process can begin. This can happen in parallel to subdivision construction to ensure purchasers are ready to lodge building consent with council when titles are issued.









Where a community comes home

Make the most of Palmerston North's latest subdivision

tamakukuterrace.nz

Contact Jack today.



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